

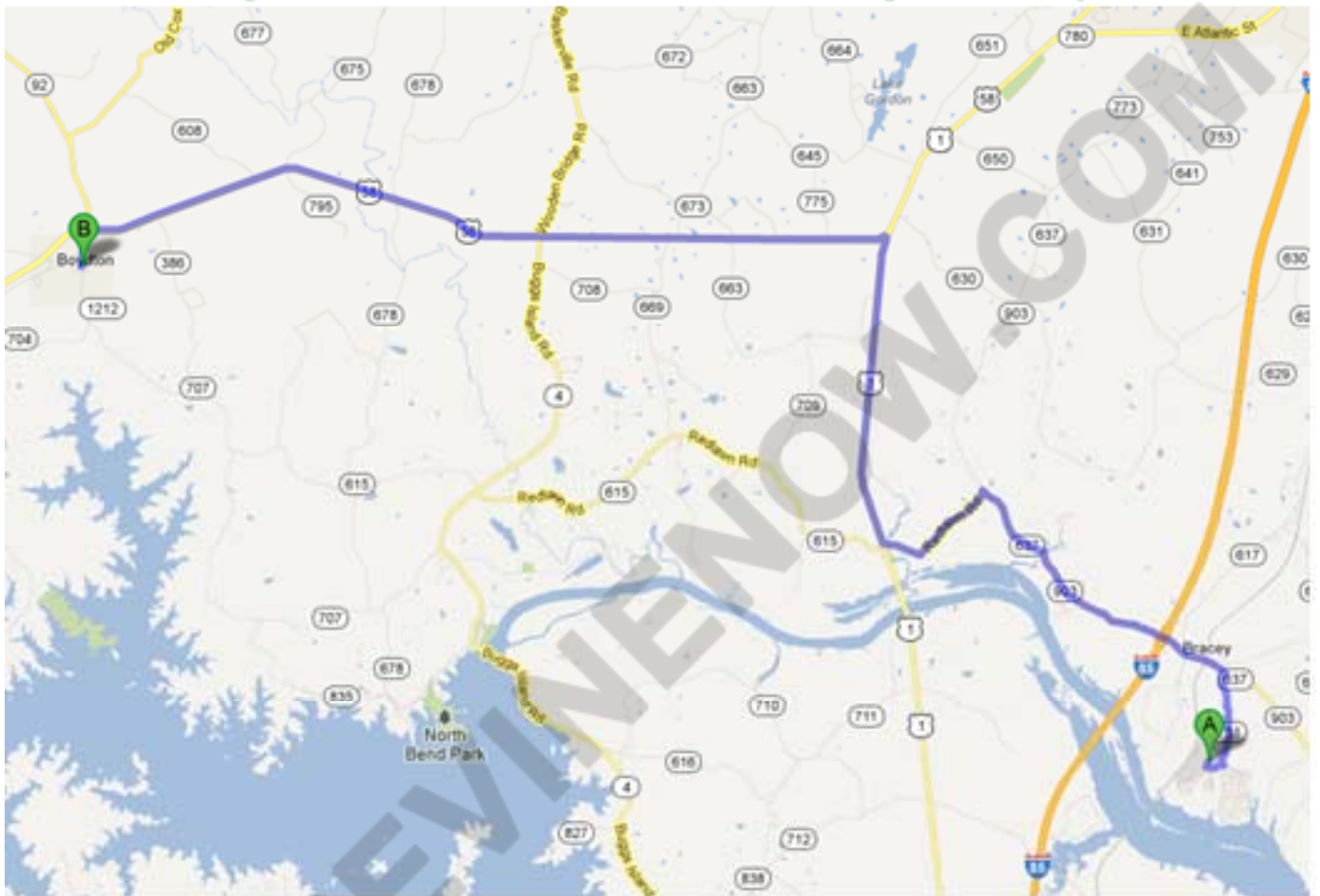
STEPS REQUIRED TO OBTAIN A BUILDING PERMIT

1. Obtain copy of Building Guidelines for River Ridge and Building Permit application.
2. Obtain copy of your plat. **MARK ALL PROPERTY LINES.**
3. Turn your completed Building Permit Application, Plat and Application Fee into the Administration Office.
4. Upon approval of the Building Permit Application by the River Ridge Architectural Committee, take your approved application to the Mecklenburg County Zoning Office and Building Permit Office.
5. Upon receiving approval/permits from Mecklenburg County Zoning and the Building Permit Offices, bring your approvals/permits to the River Ridge Administration Office to obtain your River Ridge Building Permit.
6. Call the numbers provided to you by the Building Permit Office for Inspections.

Please post your permits where they are visible from the street. Failure to post your permits shall result in a "Stop Work Order" being placed against the property.

(Reference #15 of the Building Guidelines for River Ridge)

Driving directions from River Ridge to Boydton



Driving directions to
350 Washington St.
Boydton, VA 23917

20.2 Miles
31 Minutes



1. Head **northwest** on **State Route 751/Golf Dr** toward **State Route 903/VA-637**

0.5 mi



2. Turn left onto **State Route 903/VA-637**

3.9 mi



3. Turn left onto **Goodes Ferry Rd**

157 ft

4. Continue onto **State Route 615/Redlawn Rd**

1.5 mi



5. Turn right onto **U.S. 1 N**

3.8 mi



6. Turn left onto **US-58 W**

10.0 mi



7. Turn left onto **VA-92 E/Washington St**
Continue to follow **Washington St**
Destination will be on the left

0.4 mi

BUILDING PERMIT APPLICATION
for RIVER RIDGE GOLF & CAMPING
CLUB

P.O. Box 40, Bracey, Virginia 23919
(434) 636-2989

Received By: _____
Date: _____
Approved By: _____
Date: _____
Issued By: _____
Date: _____

OWNER NAME: _____

PROPERTY ADDRESS: _____
Street Address Lot #

LEGAL OWNER OF PROPERTY: _____

MAILING ADDRESS: _____

TELEPHONE NUMBER: _____ FAX: _____

TYPE OF IMPROVEMENT: (Please check all that apply)

<input type="checkbox"/> CAMPER	<input type="checkbox"/> DECK
<input type="checkbox"/> MOBILE HOME	<input type="checkbox"/> PORCH <input type="checkbox"/> SCREENED <input type="checkbox"/> UNSCREENED
<input type="checkbox"/> SHED	<input type="checkbox"/> ENCLOSURE (describe: i.e., "A" Frame over Camper)
<input type="checkbox"/> CARPORT	_____
<input type="checkbox"/> ADDITION	<input type="checkbox"/> NEW STRUCTURE
<input type="checkbox"/> BATHROOM	_____

(Description)

DO YOU CURRENTLY HAVE SEWER? YES NO

TYPE OF EROSION CONTROL TO BE PROVIDED: INDIVIDUAL PERIMETER NONE

DESCRIPTION OF CAMPER OR MOBILE HOME

MANUFACTURED YEAR OF UNIT: _____

MODEL NAME: _____

MODEL LENGTH: _____ DIMENSIONS OF UNIT: _____

DESCRIPTION OF OTHER IMPROVEMENT (SHED, CARPORT, DECK)

Manufacturer (if applicable) _____

Dimensions of Unit _____

I hereby certify that I have the authority to make the foregoing application, that the information given is correct, and that all construction will comply with all State and Local Building Codes and applicable ordinances. I understand that as the permit holder, I am responsible for this compliance.

Signature _____ Date _____

Print _____

Fee <u>\$10.00</u>
Received by _____
Date _____

ACKNOWLEDGEMENT OF ELECTRICAL SERVICE AVAILABILITY

CAMPING SECTION ONLY

I am applying to make alterations/additions to a site in the "camping" section of River Ridge as described in the attached application for a Building Permit. I have been advised by River Ridge that I/we may only have up to 50 amps of electrical service (not guaranteed), usually in the configuration of one single pole thirty (30) amp service breaker and one single pole twenty (20) amp breaker, on any lot in the "camping" sections.

I fully understand that the electrical power to this alteration/addition may not be sufficient for the purpose I intend. I have been advised of this and I understand that at the present time there are no plans to upgrade any service in the "camping" sections beyond the present service. It is likely that the service will never be more than I presently have on my lot(s) and may be less when the campground occupancy is high. This is due to the original design of the electrical system. With that **FULLY UNDERSTOOD**, I HEREBY APPLY FOR A PERMIT TO ALTER/BUILD AS DESCRIBED ON THE ATTACHED APPLICATION.

Printed Name

Signature

Date

ACCEPTED BY: _____ Date: _____

ACKNOWLEDGMENT FOR ALL APPLICANTS

I understand that in proceeding with the above application for construction, I/We hereby release River Ridge Association, including the Owners, Directors, Officers, employees, agents, assigns, legal representatives and successors from all manner of actions, causes of action, debts, accounts, bonds, contracts, claims and demand for or by any reason of any damage or loss to my personal property which may occur as a result of this construction. I/We acknowledge having carefully read and reviewed this Hold Harmless agreement, and I/We fully understand and voluntarily execute the same.

I HAVE READ THE ABOVE BUILDING CODES AND GUIDELINES AND AGREE TO COMPLY. I MUST ALSO APPLY TO MECKLENBURG COUNTY BUILDING AND ZONING AND RECEIVE APPROVAL IN WRITING PRIOR TO THE START OF CONSTRUCTION.

Printed Name

Signature

Date

ACCEPTEDBY: _____ Date: _____

THE CAMPING SECTIONS HAVE ONLY 50 AMP SERVICE. REMEMBER THAT WHEN YOU BEGIN CONSTRUCTION. IN SOME CASES OLD WIRING WILL NOT ALLOW THE FULL 50 AMPS. RIVER RIDGE TAKES NO RESPONSIBILITY FOR ANYONE BUILDING AND NOT BEING ABLE TO GET ADEQUATE ELECTRICITY. THINK AHEAD AND USE GAS WHENEVER POSSIBLE. IF YOU OWN A "CAMPING" LOT WITH NO SEWER, THERE IS NO GUARANTEE YOU WILL BE ABLE TO GET SEWER. KEEP THAT IN MIND.

These Building codes and regulations supersede any and all previous building codes and regulations.

Property owners are advised to read them through prior to beginning any construction and to ask any questions for clarification of any they do not understand.

THERE WILL BE NO EXCEPTION TO THE SEVEN AND ONE HALF FOOT (7 ½) PROPERTY LINE SET BACK MEASURE CAREFULLY AND ALLOW FOR ANY SLIDE OUTS OR TONGUE.

APPROVED BY RIVER RIDGE BOARD OF DIRECTORS:

DATE: January 12, 2013

I have read and agree to the above building guidelines. I have read and accept the terms of the electric and sewer provided in the "camping" sections. I fully understand them and accept them as written.

DATE

PROPERTY OWNER

LOT#

PLANS AND SPECIFICATIONS OF CONSTRUCTION

_____PROPERTY LINE

-----7 ½ FEET OFF EACH PROPERTY LINE

PLEASE ATTACH A COPY OF THE PLATT WITH THE PLANS AND SPECIFICATIONS OF NEW AND EXISTING CONSTRUCTION.

PLEASE LABEL THE FOLLOWING ON YOUR DIAGRAM WHERE APPLICABLE:

1. DOOR PLACEMENTS (TRAILER AND ADDITION EXITS)
2. BATHROOM PLACEMENT (MUST HAVE SEWER CONNECTION ON FILE)
3. WINDOWS
4. HEIGHT OF STRUCTURE
5. HEIGHT FROM GRADE
6. DIMENSIONS OF NEW & EXISTING CONSTRUCTION
7. ROOF PITCH
8. MATERIALS USED

YOUR PROPERTY LINE, 7 ½ FOOT SETBACK LINE AS WELL AS THE BUILDING REQUEST PLACEMENT MUST BE MARKED OFF BEFORE YOUR BUILDING PERMIT CAN BE APPROVED. THIS ALSO APPLIES TO THE PLACEMENT OF A MOBILE HOME, RV OR CAMPER. STAKES AND STRINGS CAN BE USED TO MARK OFF YOUR LOT.